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DARLA MOORE SCHOOL OF BUSINESS - RETAINING WALL REPAIRS

OWNER PROJECT NUMBER: 50003294
ADC PROJECT NUMBER: 19058

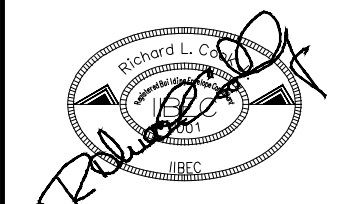
1014 GREENE STREET
COLUMBIA, SOUTH CAROLINA

UNIVERSITY OF SOUTH CAROLINA
DARLA MOORE SCHOOL OF BUSINESS -
RETAINING WALL REPAIRS
OWNER PROJECT NUMBER: 50003294
ADC PROJECT NUMBER: 19058
1014 GREENE STREET
COLUMBIA, SOUTH CAROLINA

ADC
ENGINEERING
1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
843-566-0161
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The **BUILDING ENVELOPE ENCLOSURE** Group

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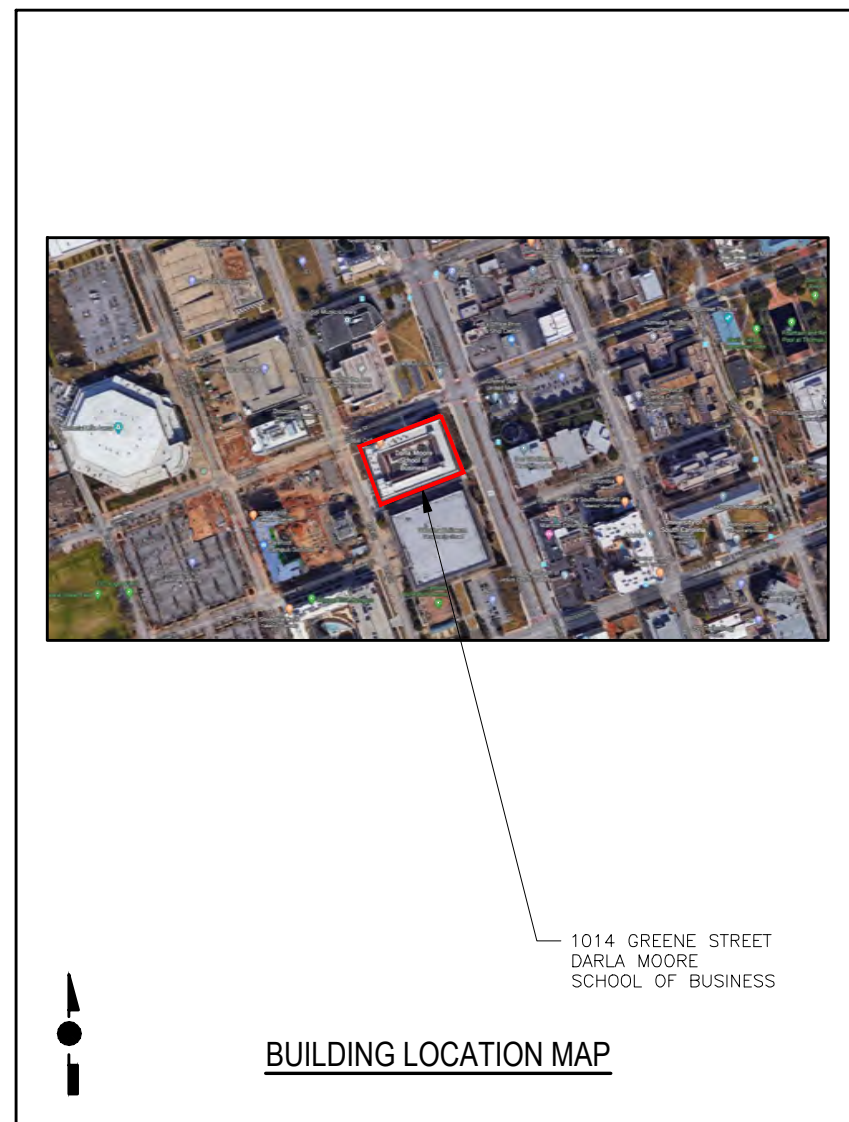
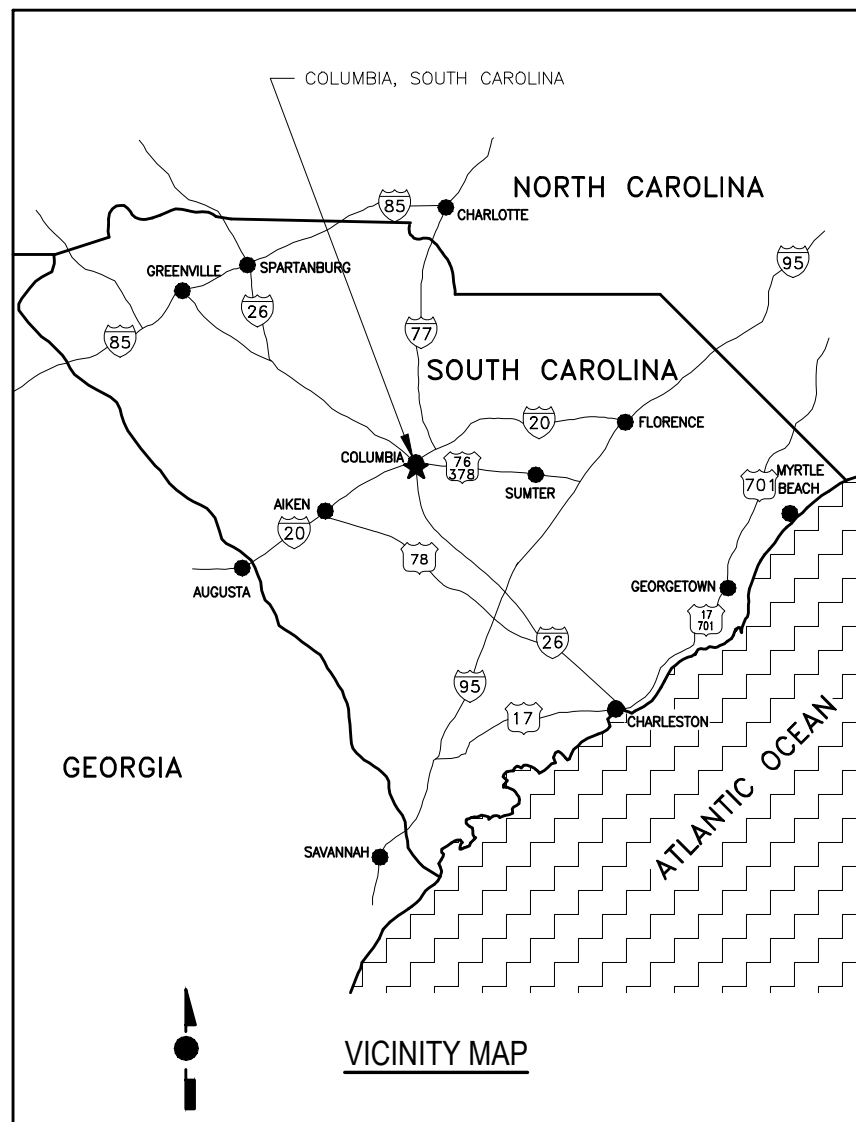


DATE: 06/15/2020
ADC PROJECT #: 19058
DESIGNED: RLC
CHECKED: AJM
DRAWN: CJJ
REVISION:

COVER SHEET

W100

SHEET 1 OF 14



LEGEND		ABBREVIATIONS	
	CONCRETE WALL	A	ABANDONED
	DRAIN PIPE	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
	STRUCTURAL BEAM	HVAC	HEAT/VENTILATION/AIR CONDITION
	CRACK	N.I.C.	NOT IN CONTRACT
	STAINING/ALGAE	NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
	EVIDENT MOISTURE INTRUSION	O.C.	ON CENTER
	SIGN	OSHA	OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION
	WALL CONTROL JOINT	PVC	POLYVINYLCHLORIDE
	HANDRAIL SYSTEM	RD	ROOF DRAIN
	CONCRETE PAVER	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.
		SWRI	SEALANT WATERPROOFING RESTORATION INSTITUTE
		TYP	TYPICAL
		VTR	VENT THRU ROOF
		W/	WITH
DETAILS/SECTION IDENTIFIER			
	DETAIL/SECTION LABEL		
	SHEET SHOWN ON		
DRAWING INDEX			
W100	COVER SHEET		
W101	GENERAL NOTES		
W102	AERIAL PLAN		
W201	SOUTH RETAINING WALL ELEVATIONS		
W202	WEST RETAINING WALL ELEVATIONS		
W203	PAVER / PEDESTAL SYSTEM ENTRANCE PLAN		
W301	CONCRETE CONTROL JOINT PHOTOS		
W302	RETAINING WALL PHOTOS		
W303	PAVERS / ELEVATED ENTRANCE PHOTOS		
W401	DETAILS / SECTIONS		
W402	DETAILS / SECTIONS		
W403	DETAILS / SECTIONS		
W404	DETAILS / SECTIONS		
W405	DETAILS / SECTIONS		

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SUMMARY OF WORK

- A. THE BUILDING WILL REMAIN COMPLETELY FUNCTIONAL DURING THE CONSTRUCTION WORK AND SHALL BE FULLY PROTECTED AT ALL TIMES.
- B. PROTECT EXTERIOR WALLS AND SURROUNDING GROUNDS FROM CONSTRUCTION, TRAFFIC AND WORK AT ALL TIMES.
- C. BASE BID WORK INCLUDES THE COMPLETE REMOVAL AND REPLACEMENT OF ALL EXTERIOR SEALANT JOINTS, CUTTING/WIDENING CONTROL JOINTS IN CONCRETE FOR EXPANSION (SEALANT) JOINT, INSTALLATION OF SEALANT IN CONTROL JOINTS, CONCRETE REPAIRS, TEXTURED WALL COATING AND MISCELLANEOUS FLASHINGS/SHEET METAL TRANSITIONS AND WATERPROOFING REPAIRS BELOW PAVER/PEDESTAL SYSTEM AT ELEVATED FRONT ENTRANCE STAIRS.
 - 1. SEE WORK NOTES ON SHEET W201 AND DRAWINGS.
- D. ALTERNATE NUMBER 1 WORK INCLUDES A LEAD-COATED COPPER METAL COPING AT TOP OF RETAINING WALL.
- E. UNIT PRICES AND AN ALLOWANCE ARE INCLUDED IN ACCORDANCE WITH THIS SPECIFICATION SECTION AND ARE TO BE INCLUDED IN THE BASE BID.

GENERAL M/E/P AND COORDINATION NOTES

- 1. DISCONNECT AND REMOVE ALL MECHANICAL AND ELECTRICAL EQUIPMENT AS NECESSARY TO COMPLETE THE WORK AND REINSTALL UPON COMPLETION OF WORK. PROVIDE FOR EXTENSION AND MODIFICATION OF SERVICE, UTILITIES, INTERIOR COMPONENTS AND ALL CONNECTIONS AS NECESSARY TO ACCOMMODATE NEW CLEARANCES AND LOCATIONS.
- 2. ANY CABLES, WIRES, LIGHTNING PROTECTION, ELECTRICAL OR ELECTRONIC COMPONENTS SHALL BE TEMPORARILY DISCONNECTED AND RECONNECTED BY QUALIFIED CRAFTSMEN.
- 3. ANY LOCATIONS/CONDITIONS WHERE THE ABOVE REQUIREMENTS CANNOT BE MET, SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT/ENGINEER OR OWNER IMMEDIATELY.

CONSTRUCTION NOTES

- 1. SUBSTRATE SHALL BE INSPECTED AND REPAIRED AS SPECIFIED PRIOR TO SYSTEM INSTALLATION.
- 2. COATING, SEALANT, WATERPROOFING, AND CONCRETE WORK SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT REQUIREMENTS. ANY CLARIFICATIONS OR ADDITIONAL INFORMATION SHALL BE IN ACCORDANCE WITH PUBLISHED GUIDELINES LISTED IN THE SPECIFICATIONS.
- 3. ALL CONCRETE REPAIRS, COATING, WATERPROOFING, AND SEALANTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED LITERATURE, ESPECIALLY, FOR STORAGE, PREPARATION, SURFACE CONDITIONS AND WEATHER.
- 4. SPECIFIC AND TYPICAL DETAILS ARE PROVIDED. TYPICAL DETAILS APPLY TO ALL INSTANCES WHERE SIMILAR CONDITION OCCURS.
- 5. ALL WORK SHALL BE CONDUCTED IN A SUBSTANTIAL WORKMANLIKE MANNER IN ACCORDANCE WITH SPECIFIED REQUIREMENTS.

UNIT PRICE QUANTITIES

- 1. IN ACCORDANCE WITH SECTION 01 20 05 PARAGRAPH 1.05 ABBREVIATED SCOPE OF WORK, THE CONTRACT DOCUMENTS INCLUDE WITHIN THE BASE BID SPECIFIC QUANTITIES.
- 2. THE SPECIFIC QUANTITIES ARE LISTED IN SECTION 01 20 05 PARAGRAPH 1.05 ABBREVIATED SCOPE OF WORK, AND THE INDIVIDUAL SPECIFICATION SECTIONS OF THIS PROJECT AND ARE INCLUDED ON THE BID FORM AS NOTED.

A SINGLE UNIT PRICE WILL BE PROVIDED FOR EACH ITEM, TO BE USED AS AN 'ADD' OR 'DEDUCT', BASED ON ACTUAL FIELD CONDITIONS. ANY QUANTITY ABOVE OR BELOW THESE SPECIFIED AMOUNTS WILL RESULT IN AN 'ADD' OR 'DEDUCT' TO THE CONTRACT SUM BASED ON THE REQUIRED UNIT PRICES.
- 3. IN ACCORDANCE WITH SECTION 01 20 05 ABBREVIATED SCOPE OF WORK, THE FOLLOWING DOCUMENTATION IS REQUIRED.
 - A. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPAIR UNIT PRICED QUANTITIES USED BASED ON CONTRACT REQUIREMENTS.
 - B. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN 80% OF QUANTITY IS USED FOR EACH UNIT PRICE ITEM.
 - C. OWNER IS NOT RESPONSIBLE FOR QUANTITIES WHICH EXCEED 80% UNLESS OWNER IS NOTIFIED IN WRITING PRIOR TO EXCEEDING THESE QUANTITIES, AND CONTRACTOR RECEIVES APPROVAL TO PROCEED.
 - D. PROVIDE PHOTOGRAPH OR VIDEOTAPE DOCUMENTATION OF REPAIRS AND ACTUAL QUANTITIES USED.
 - E. LOCATE QUANTITIES AND SHOW THEIR LOCATIONS ON DRAWINGS.
 - F. PROVIDE ACTUAL USED QUANTITIES ON EACH APPLICATION FOR PAYMENT REQUEST.
- 4. PROVIDE SUMMARY OF UNIT QUANTITIES 'REQUIRED' VERSE 'USED' AND ABOVE DOCUMENTATION WHEN REQUESTED, AND AS PART OF PROJECT CLOSE-OUT REQUIREMENTS OF SECTION 01 20 05 PARAGRAPH 1.14, ABBREVIATED SCOPE OF WORK.

GENERAL NOTES

- 1. PRIOR TO PERFORMING WORK, CONTRACTOR SHALL INSPECT DECK AND CONCRETE SURFACES AND SUBSTRATE CONDITIONS. PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT THE COURSE OF WORK.
- 2. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, ITEM LOCATIONS, AND SIZE AND QUANTITY OF PENETRATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BID.
- 3. LAYDOWN / STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.
- 4. SITE SHALL BE CLEANED ON A DAILY BASIS AND SECURED AT THE END OF EACH WORK DAY.
- 5. BUILDING ACCESS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK.

DEMOLITION NOTES

- 1. SEE SECTION 01 20 05, ABBREVIATED SCOPE OF WORK, SECTION 02 04 00, CUTTING AND PATCHING, AND SECTION 02 05 00, DEMOLITION AND REMOVAL.
- 2. BUILDING ENVELOPE DEMOLITION IS REQUIRED TO THE VARIOUS COMPONENTS AND SYSTEMS TO COMPLETE THE REQUIRED REPAIRS, MODIFICATIONS AND REPLACEMENTS OF THIS PROJECT.
- 3. REMOVE ALL FLASHINGS AND ACCESSORIES AS NOTED, SPECIFIED OR REQUIRED TO COMPLETE THE WORK, ALL NEW SHEET METAL REQUIRED UNLESS OTHERWISE INDICATED.
- 4. THE UNDERSIDE OF THE DECK MAY HAVE HVAC, ELECTRICAL FIXTURES, ETC. ATTACHED. THE CONTRACTOR SHALL HAVE QUALIFIED CRAFTSMEN REMOVE AND REINSTALL ALL AFFECTED ITEMS OF THE DEMOLITION OF WORK TO COMPLETE THE WORK AND TO REPAIR/REPLACE CONCRETE & WATERPROOFING. THE LOCATION AND METHOD OF ATTACHMENT SHALL BE THE SAME AS THE ORIGINAL, UNLESS DIRECTED OR APPROVED OTHERWISE BY THE CONSULTANT AND/OR THE OWNER.
- 5. ALL DEMOLITION SHALL ADHERE TO ANSI AND OSHA GUIDELINES, AND SECTION 01 52 06, SAFETY REQUIREMENTS.

PROTECTION NOTES

- 1. FACILITIES MAY BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE FACILITY, CONTENTS, AND OCCUPANTS.
- 2. THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAY'S WORK AND WHEN INCLEMENT WEATHER THREATENS.
- 3. CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR AND GROUNDS INCLUDING SURFACES, GRASS, PLANTS, TREES, SHRUBS, AND OTHER LANDSCAPING. THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS TO ORIGINAL OR BETTER CONDITION.
- 4. ANY SURFACES STAINED, MARRED, OR DAMAGED BY THE WORK OF THE CONTRACTOR, THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS OF THE SITE OR FACILITY TO ORIGINAL OR BETTER CONDITION AND MATCH ADJACENT SURFACES.
- 5. WORK SHALL BE SEQUENCED TO MINIMIZE TRAFFIC ON THE NEW WORK.

UNIVERSITY OF SOUTH CAROLINA

DARLA MOORE SCHOOL OF BUSINESS -
RETAINING WALL REPAIRS

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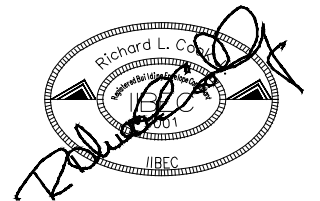
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COLUMBIA, SOUTH CAROLINA



1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
843-566-0161
ADCENGINEERING.COM



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HANAHAN, SC 29410



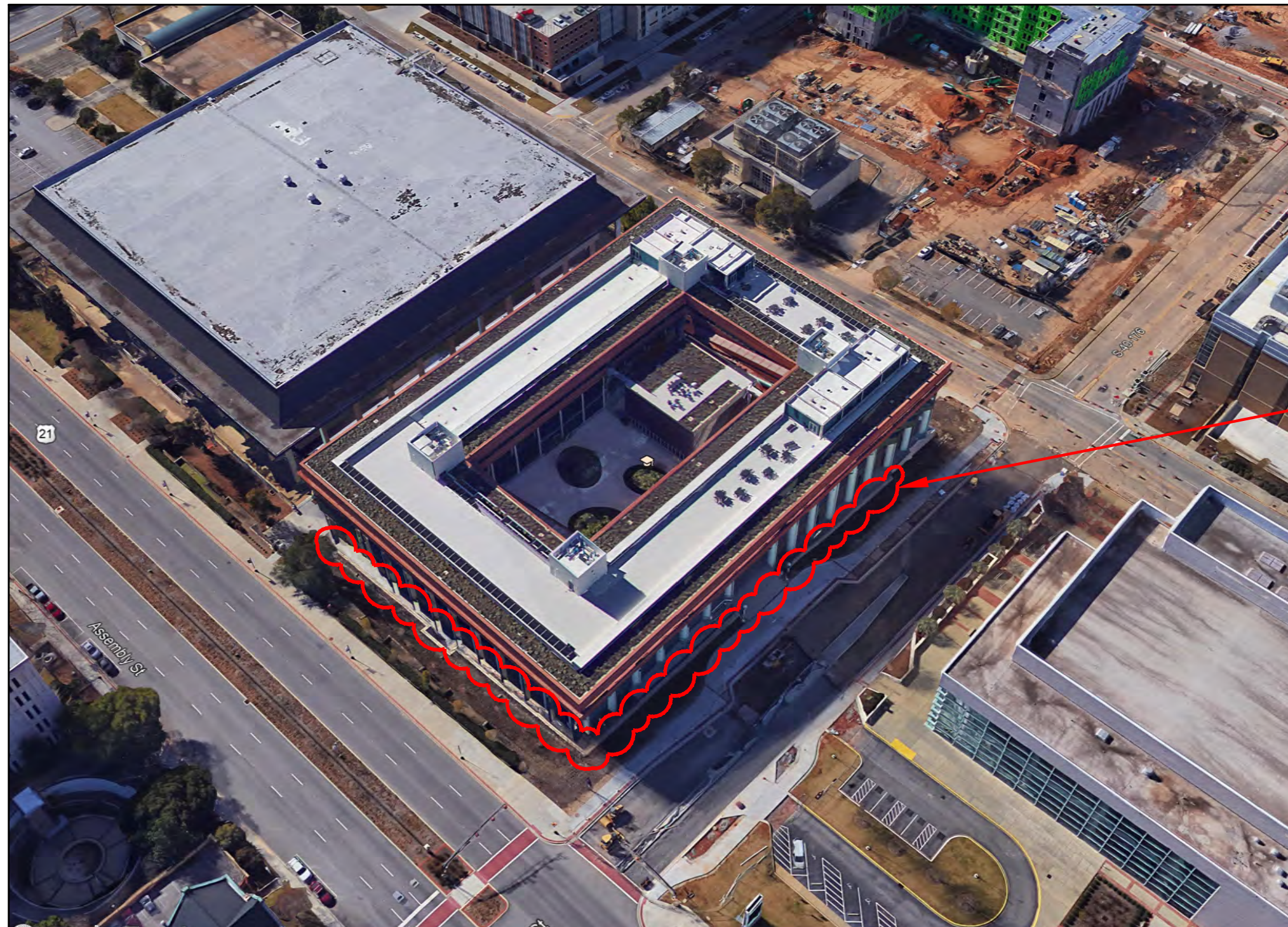
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ADC PROJECT #:	19058
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DRAWN:	CJI
REVISION:	

GENERAL NOTES

W101

SHEET 2 OF 14

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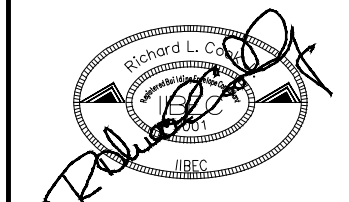
**DARLA MOORE SCHOOL OF BUSINESS
AERIAL PLAN**

UNIVERSITY OF SOUTH CAROLINA
**DARLA MOORE SCHOOL OF BUSINESS -
RETAINING WALL REPAIRS**

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COLUMBIA, SOUTH CAROLINA

ADC
ENGINEERING
1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
843-566-0161
ADCENGINEERING.COM

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Group
1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410

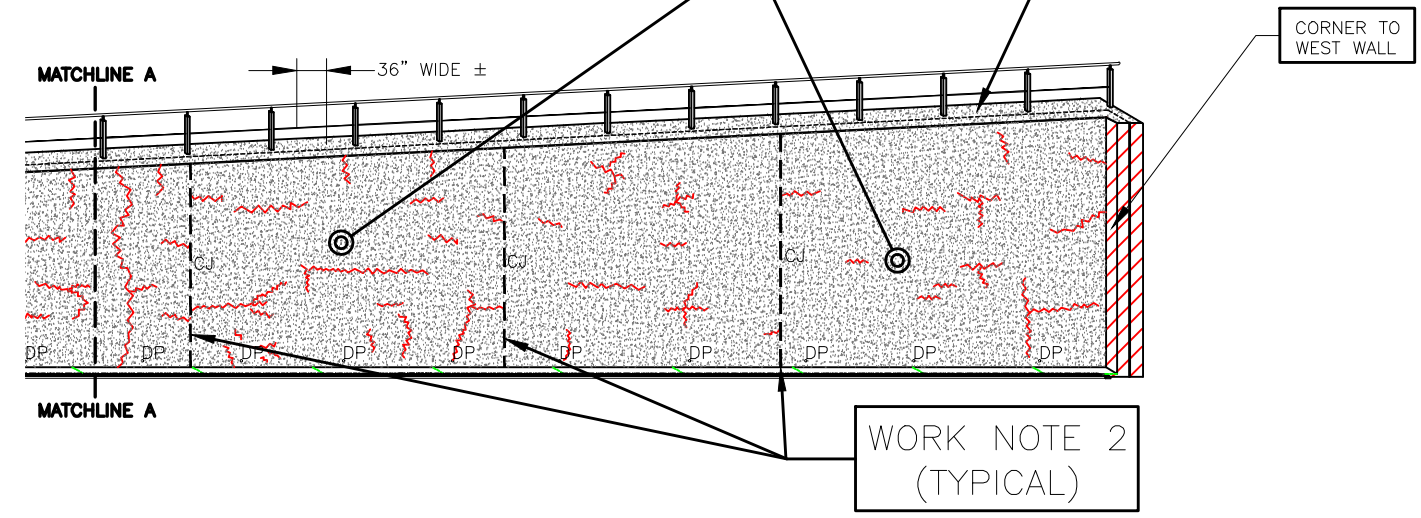
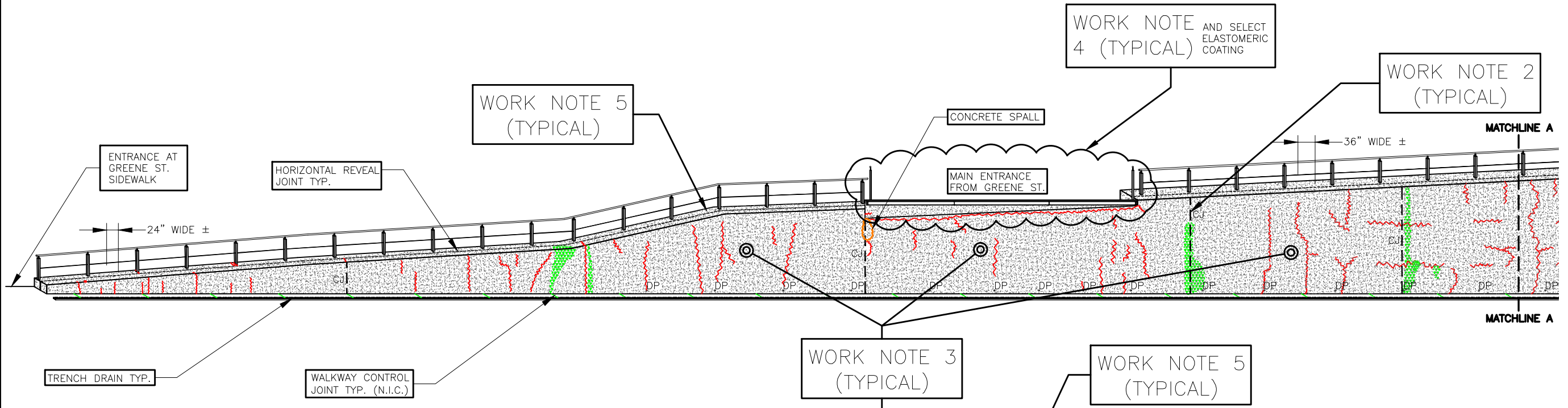


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REVISION:	

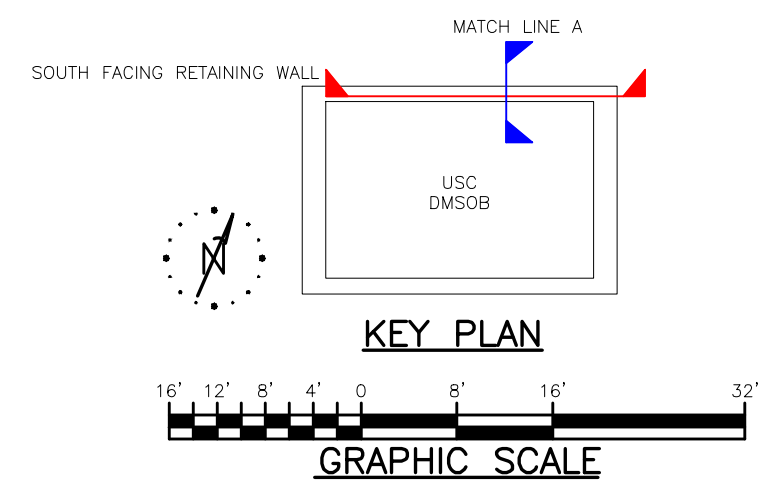
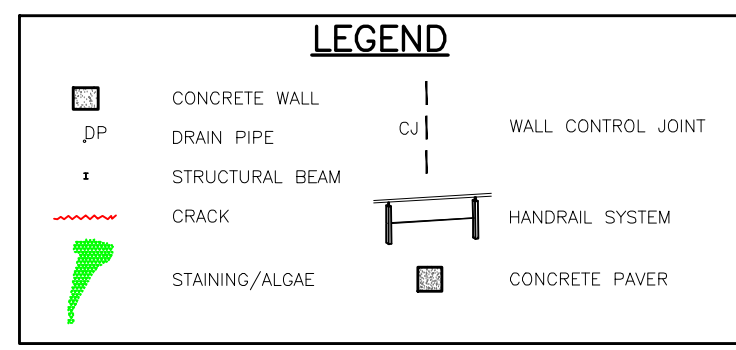
**AERIAL
PLAN**

W102
SHEET 3 OF 14

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- WORK NOTES:**
1. COMPLETE REMOVAL AND REPLACEMENT OF ALL EXTERIOR SEALANT JOINTS. (BASE BID)
 2. CUTTING/WIDENING CONTROL JOINTS IN CONCRETE FOR EXPANSION (SEALANT) JOINT. (BASE BID)
 3. CONCRETE REPAIRS, ELASTOMERIC COATINGS (WHERE NOTED ON DRAWINGS) AND TEXTURED WALL COATING.
 - a. CLEAN OUT (DP) DRAIN PIPE TO DEPTH OF 12-14 INCHES. (TYPICAL)
 4. MISCELLANEOUS FLASHING/SHEET METAL TRANSITIONS AND WATERPROOFING REPAIRS BELOW PAVER/PEDESTAL SYSTEM AT FRONT ENTRANCE STAIRS. (BASE BID)
 - a. REMOVE EXISTING PAVERS AND STORE FOR REUSE.
 - b. REMOVE EXISTING DRAINAGE MAT AND WATERPROOFING ADJACENT TO STAIRS (12" WIDE STRIP).
 - c. INSTALL NEW SHEET METAL CLOSURE ALONG CONCRETE STAIRS. (DETAIL 13/W405)
 - d. INSTALL NEW WATERPROOFING / DRAINAGE MAT AND TIE INTO EXISTING.
 - e. REINSTALL EXISTING PAVERS.
 5. INSTALL LEAD-COATED COPPER METAL COPING AT TOP OF RETAINING WALL, INCLUDING HANDRAIL PENETRATION FLASHINGS. (ALTERNATE #1)
 - a. CUT/TRIM BACK VEGETATION FROM RETAINING WALL APPROXIMATELY 18" (TYPICAL) TO COMPLETE WORK.



**DARLA MOORE SCHOOL OF BUSINESS
SOUTH RETAINING WALL ELEVATIONS**

WORK NOTE 4 (TYPICAL) AND SELECT ELASTOMERIC COATING

WORK NOTE 2 (TYPICAL)

WORK NOTE 5 (TYPICAL)

WORK NOTE 3 (TYPICAL)

WORK NOTE 5 (TYPICAL)

WORK NOTE 2 (TYPICAL)

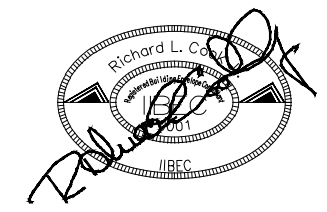
UNIVERSITY OF SOUTH CAROLINA
DARLA MOORE SCHOOL OF BUSINESS -
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ENGINEERING

1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
843-566-0161
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The **BUILDING ENVELOPE ENCLOSURE** Group

1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410



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ADC PROJECT #:	19058
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CHECKED:	AJM
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SOUTH RETAINING WALL ELEVATIONS

W201

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WORK NOTE 5
(TYPICAL)

HORIZONTAL REVEAL
JOINT TYP.

WORK NOTE 2
(TYPICAL)

RETURN WALL
SECTIONS, SEE
BELOW

MATCHLINE B

MATCHLINE B

TRENCH DRAIN TYP.

WALKWAY CONTROL
JOINT TYP. (N.I.C.)

UTILITY PIT WITH STEEL
GRATE

WORK NOTE 3
(TYPICAL)

(RETURN WALL SECTIONS)

(3) CONCRETE CAPS ON
TOP OF WALL. REMOVE
AND STORE FOR REUSE.
REINSTALL OVER METAL
COPING CAP WITH
DOWELS.

STEPS TO
SIDEWALK AT
ASSEMBLY ST.

WORK NOTES:

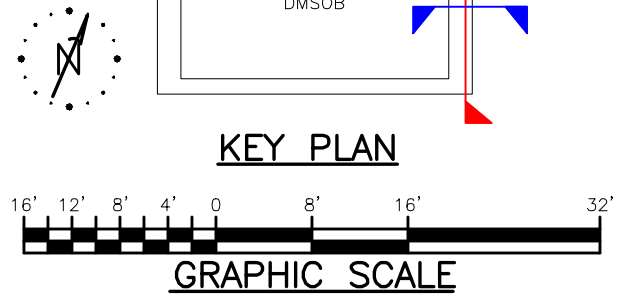
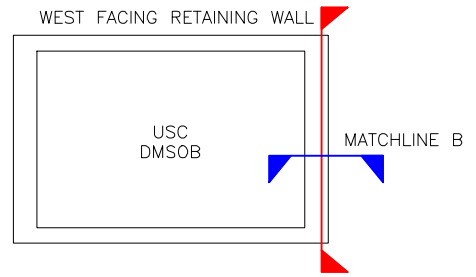
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 - c. INSTALL NEW SHEET METAL CLOSURE ALONG CONCRETE STAIRS. (DETAIL 13/W405)
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WORK NOTE 2
(TYPICAL)

WORK NOTE 5
(TYPICAL)

LEGEND

	CONCRETE WALL		EVIDENT MOISTURE INTRUSION
	DRAIN PIPE		SIGN (REMOVE, STORE, AND REINSTALL)
	STRUCTURAL BEAM		WALL CONTROL JOINT
	CRACK		HANDRAIL SYSTEM
	STAINING/ALGAE		

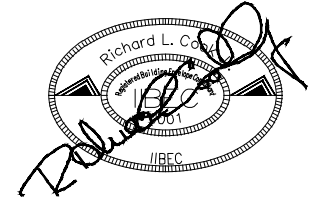


**DARLA MOORE SCHOOL OF BUSINESS
WEST RETAINING WALL ELEVATIONS**

UNIVERSITY OF SOUTH CAROLINA
DARLA MOORE SCHOOL OF BUSINESS -
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OWNER PROJECT NUMBER: 50003294
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HANAHAN, SC 29410
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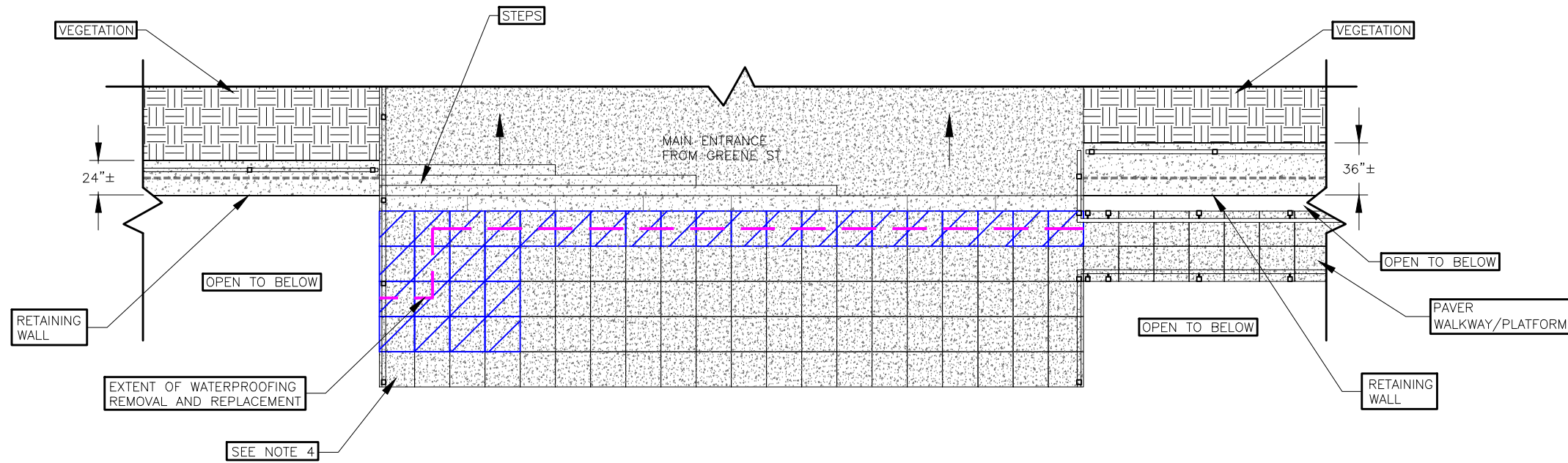
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Group
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HANAHAN, SC 29410



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REVISION:	

**WEST RETAINING
WALL ELEVATIONS**

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- WORK NOTES:**
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 - a. CUT/TRIM BACK VEGETATION FROM RETAINING WALL APPROXIMATELY 18" (TYPICAL) TO COMPLETE WORK.

LEGEND

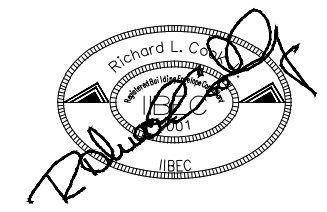
= PAVER / PEDESTAL SYSTEM TO BE REMOVED AND REINSTALLED WITH COMPLETION OF BASE BID WORK, NOTE 4.

**DARLA MOORE SCHOOL OF BUSINESS
PAVER/PEDESTAL SYSTEM ENTRANCE PLAN**

UNIVERSITY OF SOUTH CAROLINA
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**PAVER / PEDESTAL
SYSTEM ENTRANCE PLAN**

W203
SHEET 6 OF 14

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1
W301



2
W301



3
W301



4
W301



5
W301




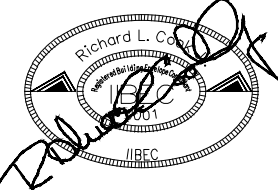
6
W301

CONCRETE CONTROL JOINT PHOTOS

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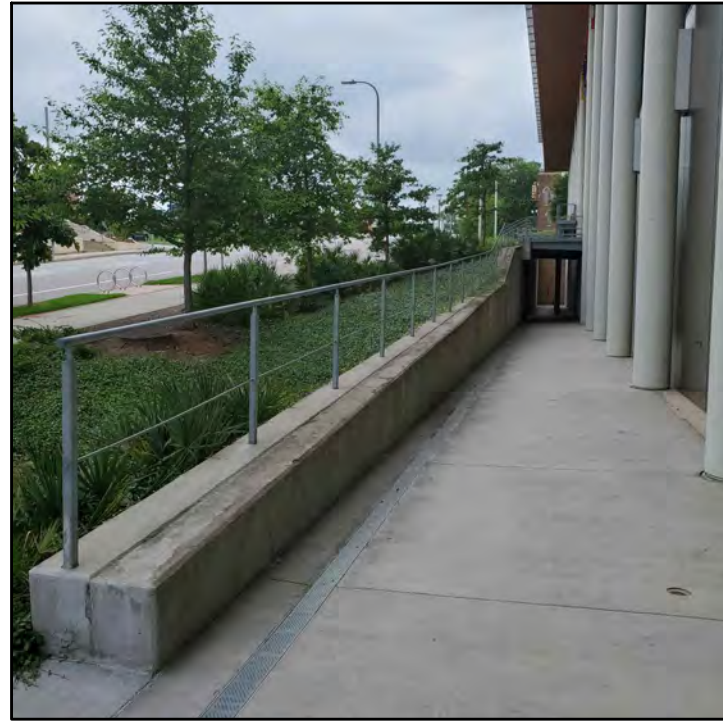

Richard L. Coffey
Professional Engineer
State of South Carolina
License No. 13017
Mechanical
IRFEC

DATE: 06/15/2020
ADC PROJECT #: 19058
DESIGNED: RLC
CHECKED: AJM
DRAWN: CJI
REVISION:

**CONCRETE CONTROL
JOINT PHOTOS**

W301
SHEET 7 OF 14

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1
W302



2
W302



3
W302



4
W302



5
W302




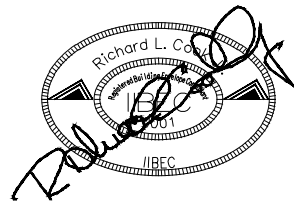
6
W302

RETAINING WALL PHOTOS

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RETAINING WALL REPAIRS
OWNER PROJECT NUMBER: 50003294
ADC PROJECT NUMBER: 19058
1014 GREENE STREET
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The 
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ENCLOSURE**
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Richard L. Collier
13017
IIRFC

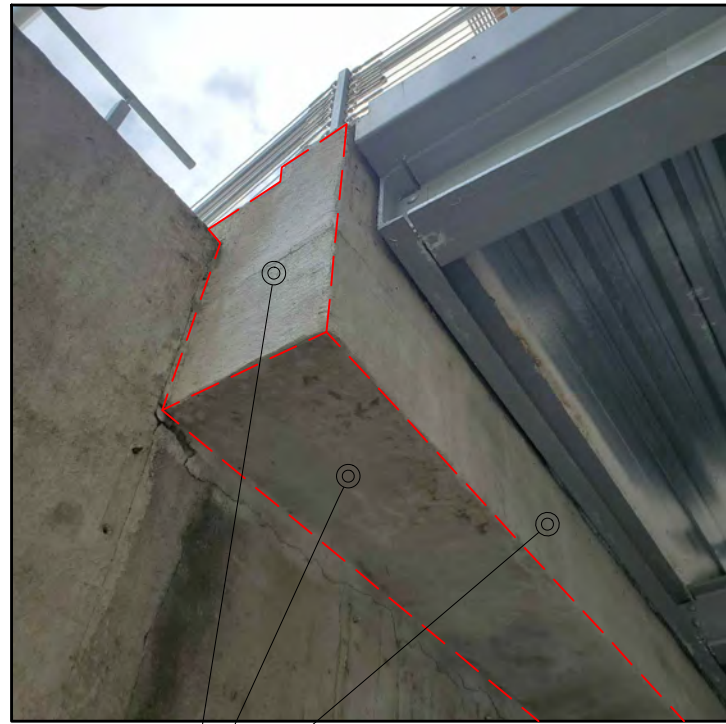
DATE: 06/15/2020
ADC PROJECT #: 19058
DESIGNED: RLC
CHECKED: AJM
DRAWN: CJI
REVISION:

RETAINING WALL
PHOTOS

W302

SHEET 8 OF 14

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SURFACES TO RECEIVE NEW ELASTOMERIC COATING

1
W303



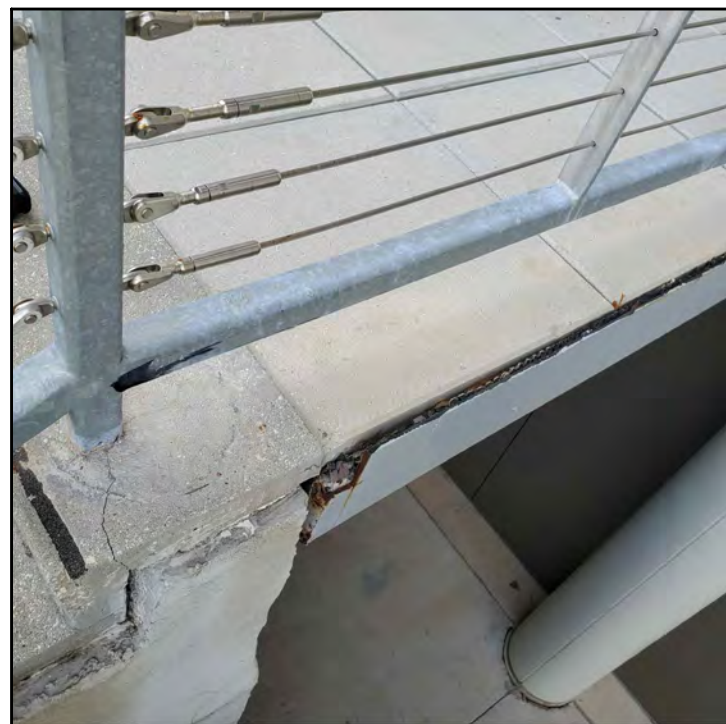
SURFACES TO RECEIVE NEW ELASTOMERIC COATING

2
W303

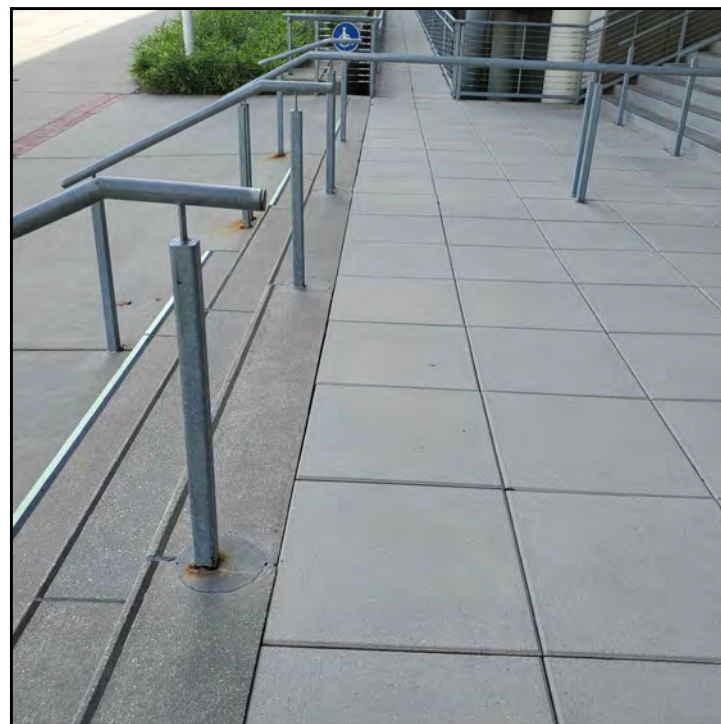


SURFACES TO RECEIVE NEW ELASTOMERIC COATING

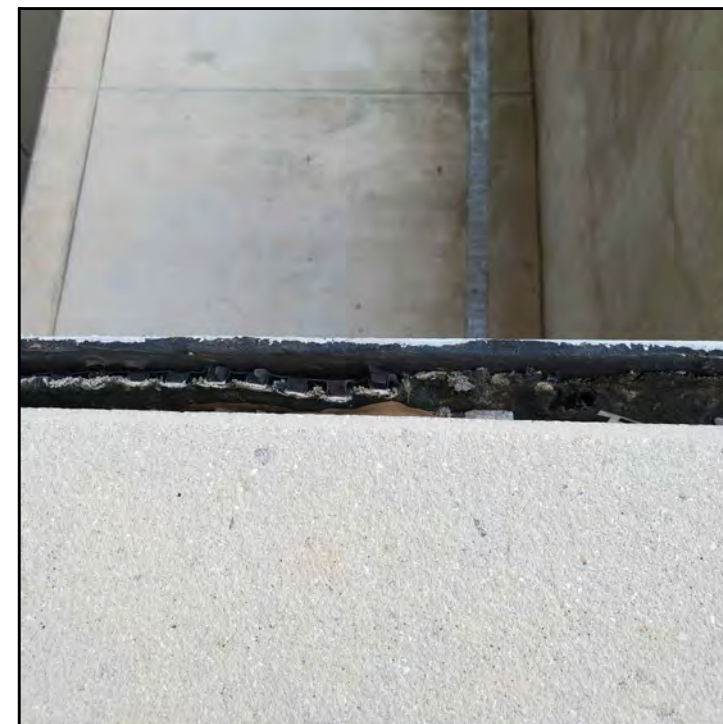
3
W303



4
W303



5
W303



6
W303

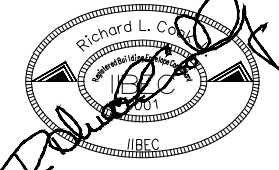
PAVERS / ELEVATED ENTRANCE PHOTOS

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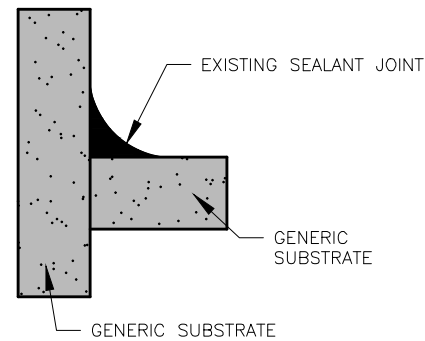

Richard L. Coffey
13017
IRFEC

DATE:	06/15/2020
ADC PROJECT #:	19058
DESIGNED:	RLC
CHECKED:	AJM
DRAWN:	CJI
REVISION:	

PAVERS / ELEVATED
ENTRANCE PHOTOS

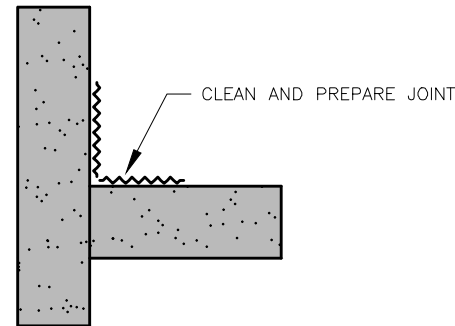
W303
SHEET 9 OF 14

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EXISTING CORNER/FILLET JOINT

STEP ONE



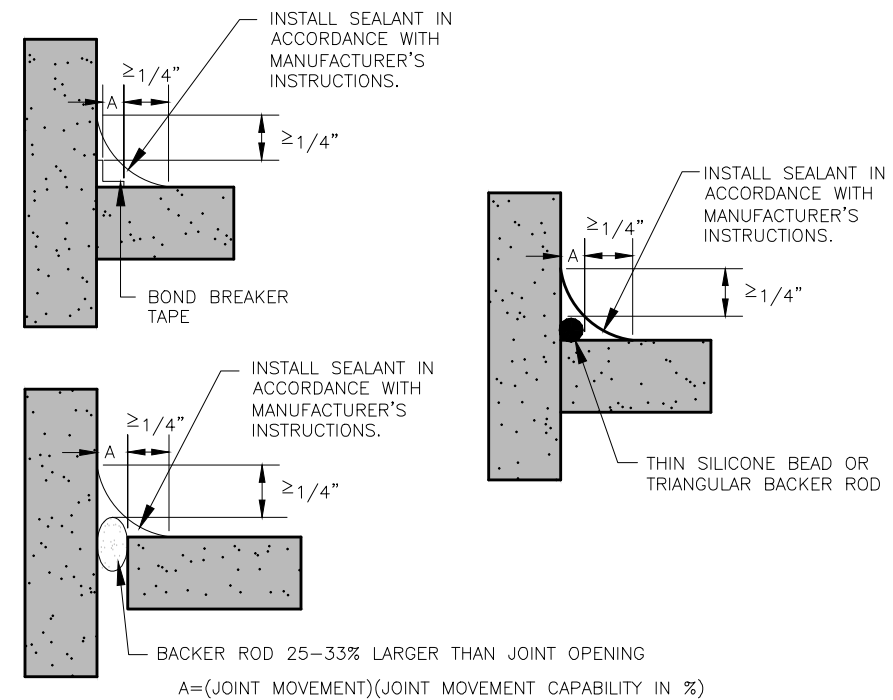
PREPARE CORNER/FILLET JOINT

STEP TWO

NOTES:

1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.
4. CONTRACTOR OPTIONS FOR BOND BREAKER/BACKER ROD FOR CORNER/FILLET JOINT.

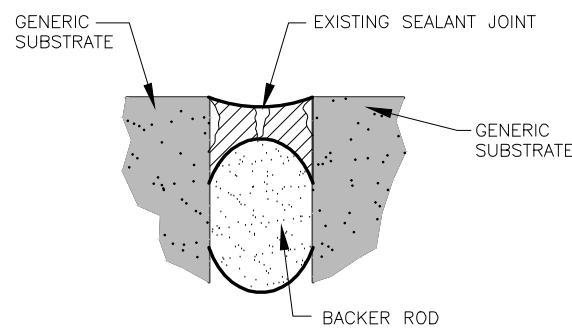
1 CORNER/FILLET JOINT
W401 NOT TO SCALE (TYPICAL)



NOTES:

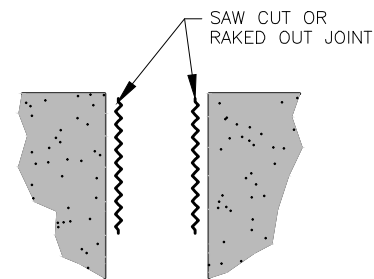
1. EXISTING CONDITIONS WILL DICTATE TYPE OF FILLET JOINT SPACE (SHOWN ABOVE) TO BE USED.
2. CONTRACTOR OPTIONS FOR BOND BREAKER/BACKER ROD FOR CORNER/FILLET JOINT.
3. SEALANT SHALL BE MINIMUM 1/4" THICK.

PROVIDE CORNER/FILLET JOINT OPTIONS
STEP THREE



EXISTING STANDARD JOINT

STEP ONE



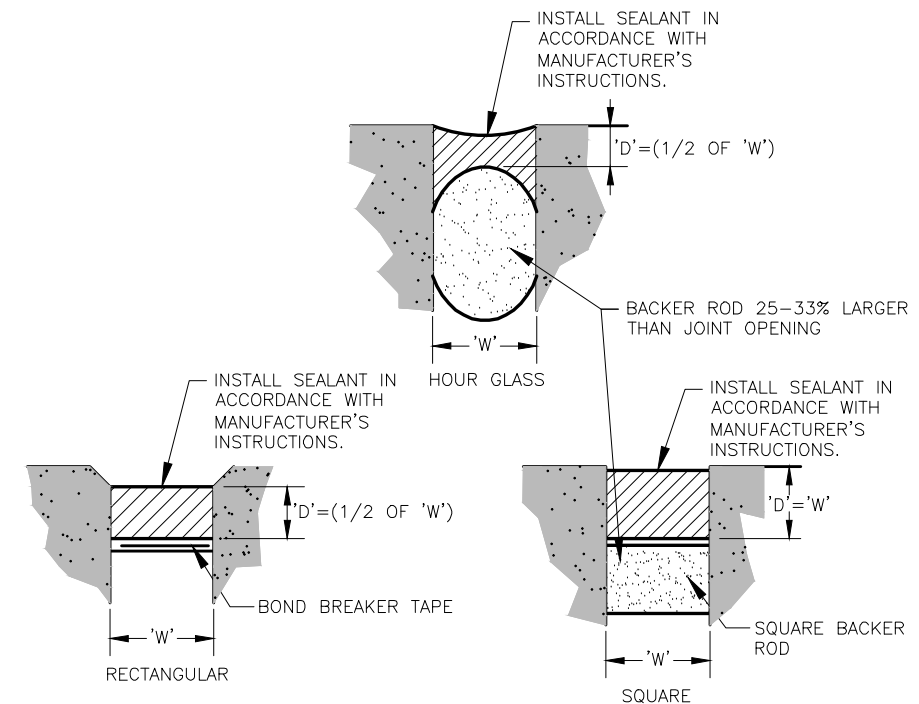
PREPARE STANDARD JOINT

STEP TWO

NOTES:

1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.
4. CLEAN OUT MATERIALS IN EXISTING JOINT TO DEPTH REQUIRED TO INSTALL NEW BACKER ROD AND SEALANT BEAD.
5. SEALANT JOINT SHALL EXTEND ONTO HORIZONTAL FACE (TOP SURFACE) OF RETAINING WALLS AT CONTROL JOINTS.

2 STANDARD JOINT DETAIL
W401 NOT TO SCALE (TYPICAL)



NOTES:

1. EXISTING CONDITIONS WILL DICTATE TYPE OF STANDARD JOINT SPACE (SHOWN ABOVE) TO BE USED.

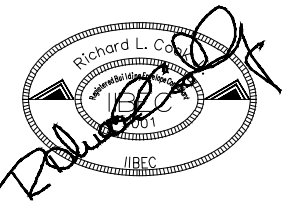
PROVIDE STANDARD JOINT OPTIONS
STEP THREE

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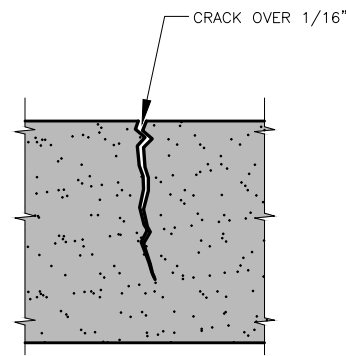


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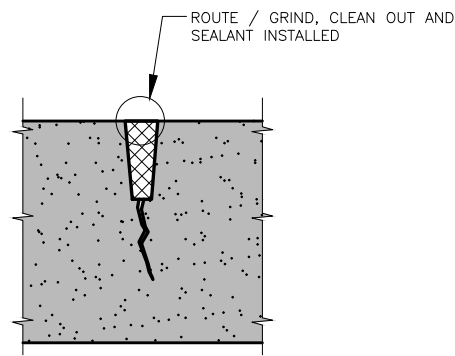
DETAILS / SECTIONS

W401
SHEET 10 OF 14

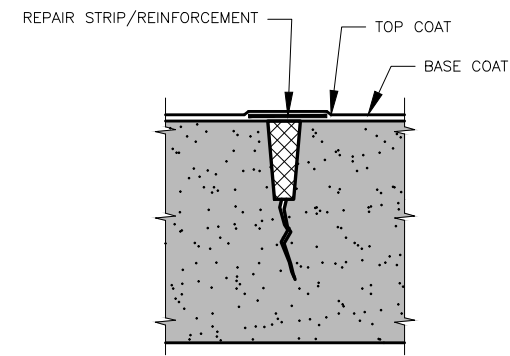
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EXISTING CRACK
STEP ONE

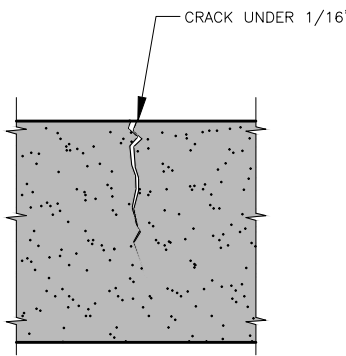


PREPARE CRACK / CLEAN OUT
STEP TWO

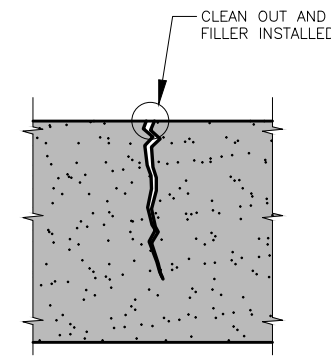


PROVIDE CRACK REPAIR W/ COATING SYSTEM
STEP THREE

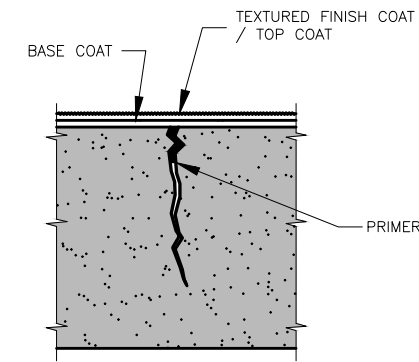
3 CRACK REPAIR GREATER THAN 1/16" W/ WALL ELASTOMERIC COATING APPLICATION
W402 NOT TO SCALE (TYPICAL)



EXISTING CRACK
STEP ONE



PREPARE CRACK / CLEAN OUT
STEP TWO



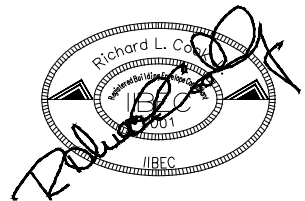
PROVIDE CRACK REPAIR W/ COATING SYSTEM
STEP THREE

4 CRACK REPAIR LESS THAN 1/16" REPAIRS W/ WALL ELASTOMERIC COATING APPLICATION
W402 NOT TO SCALE (TYPICAL)

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REVISION:	

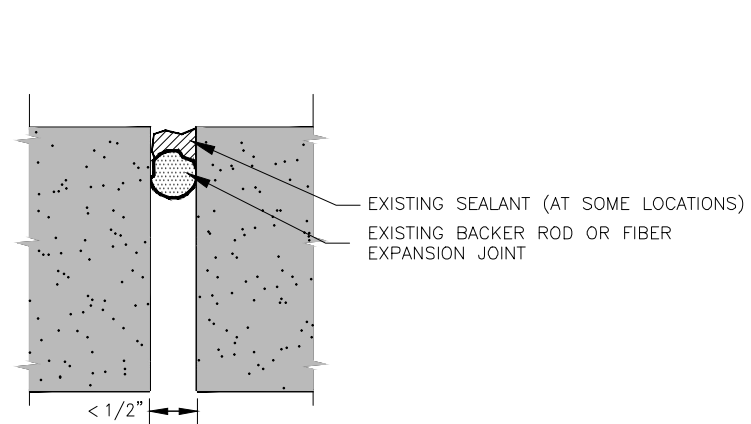
DETAILS / SECTIONS

W402

SHEET 11 OF 14

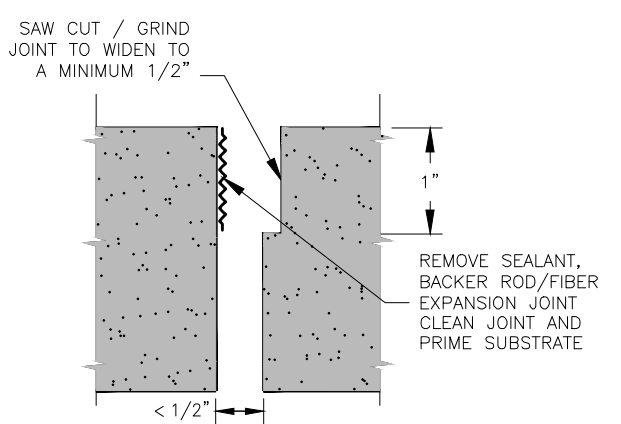
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OWNER PROJECT NUMBER: 50003294
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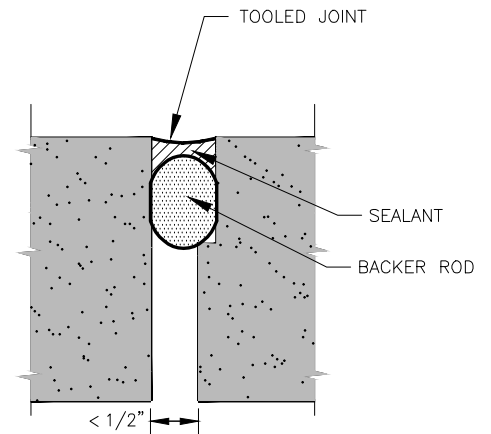
EXISTING EXPANSION/CONTROL JOINT (LESS THAN 1/2")

STEP ONE



PREPARE EXPANSION/CONTROL JOINT (LESS THAN 1/2")

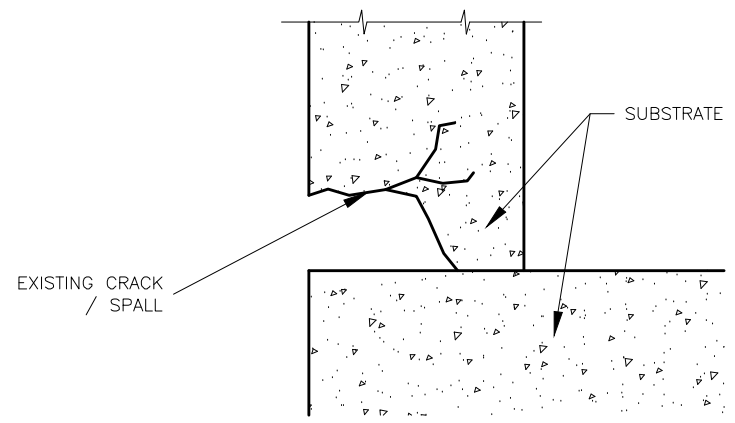
STEP TWO



REPAIR EXPANSION/CONTROL JOINT (LESS THAN 1/2")

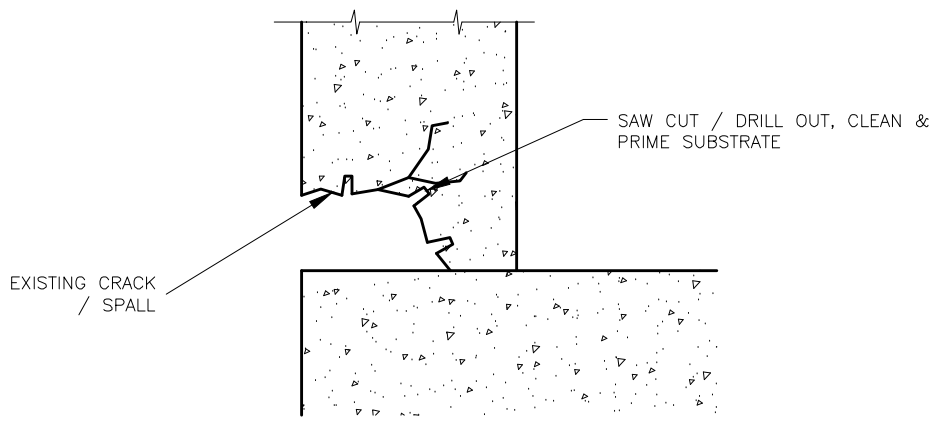
STEP THREE

5 WIDEN JOINT (< 1/2") REPAIR
W403 NOT TO SCALE TYPICAL



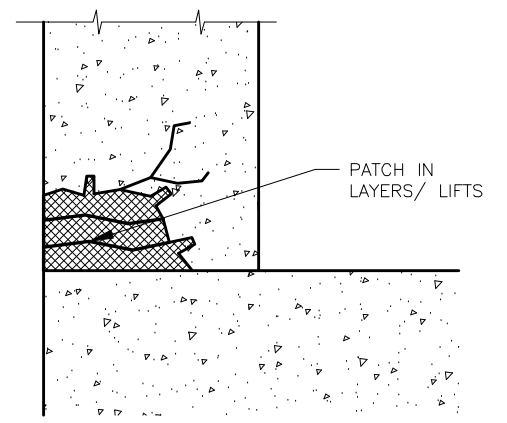
EXISTING CRACK IN SUBSTRATE

STEP ONE



PREPARE, SAW CUT / DRILL & CLEAN OUT

STEP TWO



PROVIDE PATCH

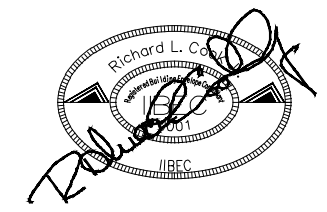
STEP THREE

6 WALL/FOUNDATION CONCRETE SPALL REPAIR
W403 NOT TO SCALE (TYPICAL)

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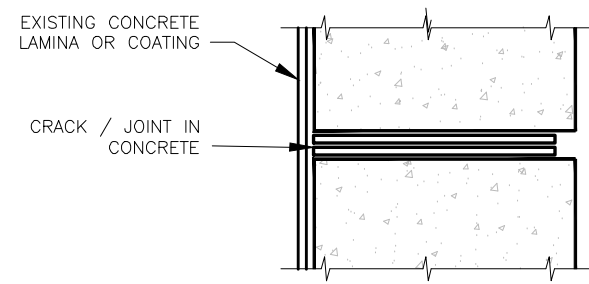


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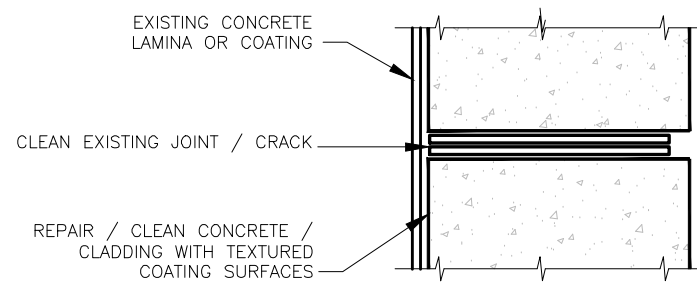
DETAILS / SECTIONS

W403
SHEET 12 OF 14

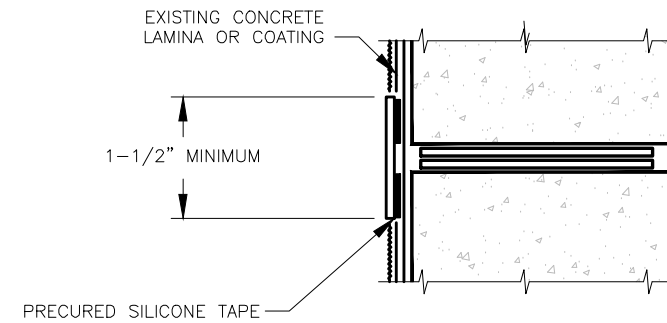
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EXISTING CONCRETE JOINT
STEP ONE



PREPARE AND CLEAN
STEP TWO

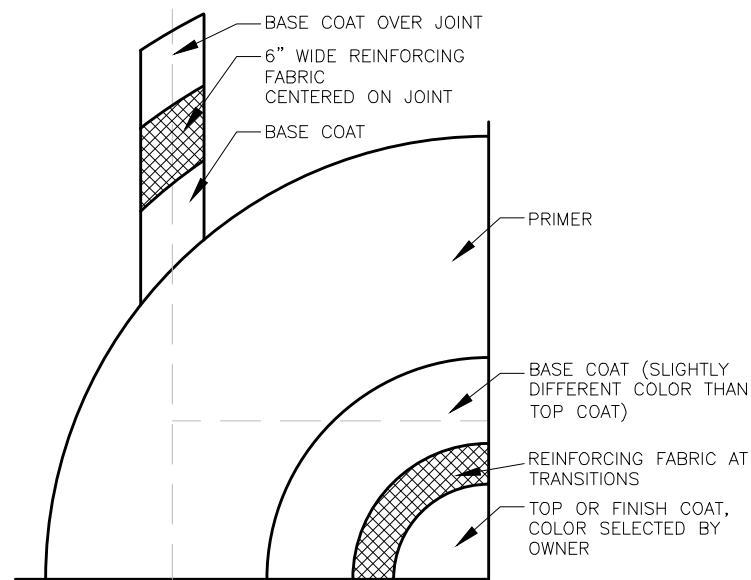


PROVIDE TAPE JOINT
STEP THREE

NOTES:

1. NO LOCATIONS SHOWN ON DRAWINGS. CONTRACTOR SHALL PROVIDE 100 LF IN BASE BID.

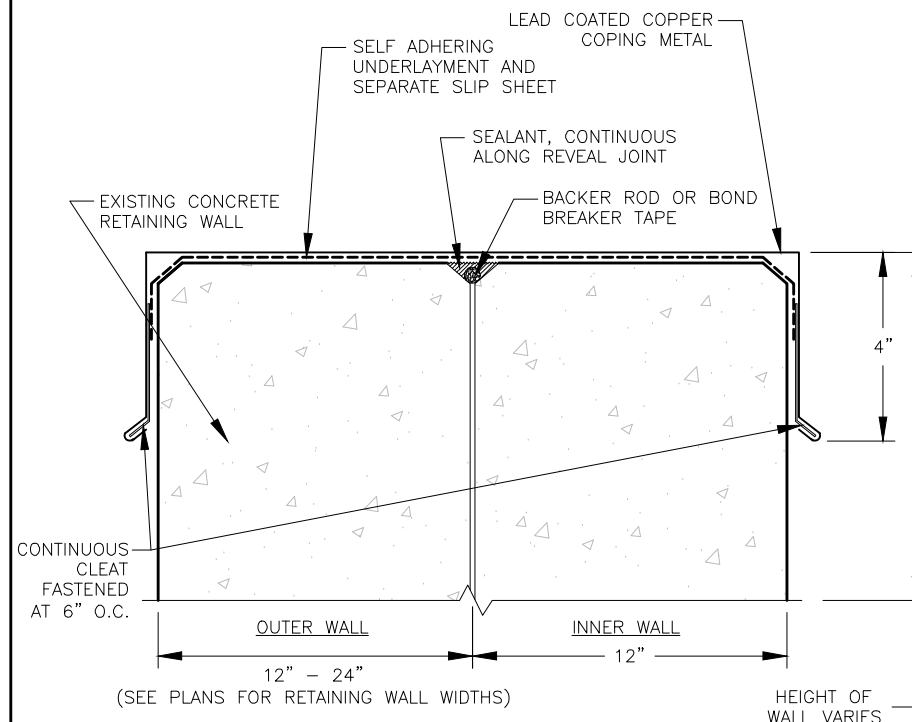
7 **PRECURED TAPE JOINT DETAIL**
W404 NOT TO SCALE (TYPICAL)



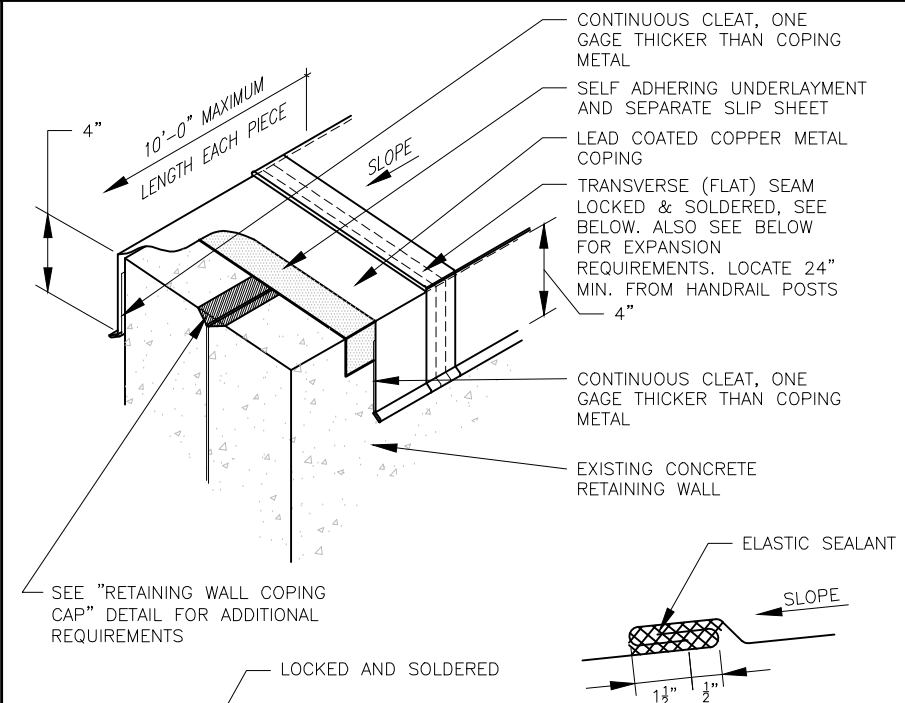
NOTES:

1. PREPARE ALL EXTERIOR SURFACES IN ACCORDANCE WITH THE SPECIFICATION REQUIREMENTS.
2. WORK INCLUDES EXTERIOR WALL REPAIRS AND COATING SYSTEM ON THE SELECT WALLS FOR THE BASE BID.
3. SEE MOCK UP REQUIREMENTS FOR CONCRETE REPAIRS, OWNER APPROVAL.

8 **TEXTURED ELASTOMERIC COATING SYSTEM**
W404 NOT TO SCALE (TYPICAL)



9 **RETAINING WALL COPING CAP**
W404 NOT TO SCALE (TYPICAL)



COPING METAL TRANSVERSE (FLAT) SEAM

10 **COPING DETAIL**
W404 NOT TO SCALE (TYPICAL)

COPING METAL EXPANSION JOINT

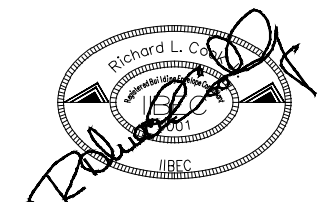
- NOTES:**
1. EXPANSION JOINTS TO BE 32' O.C. MAXIMUM.
 2. ENSURE EXPANSION JOINT LAPPED AND SEALED IN DIRECTION OF THE EXISTING RETAINING WALL SLOPE TO ENSURE PROPER WATERSHEDDING.

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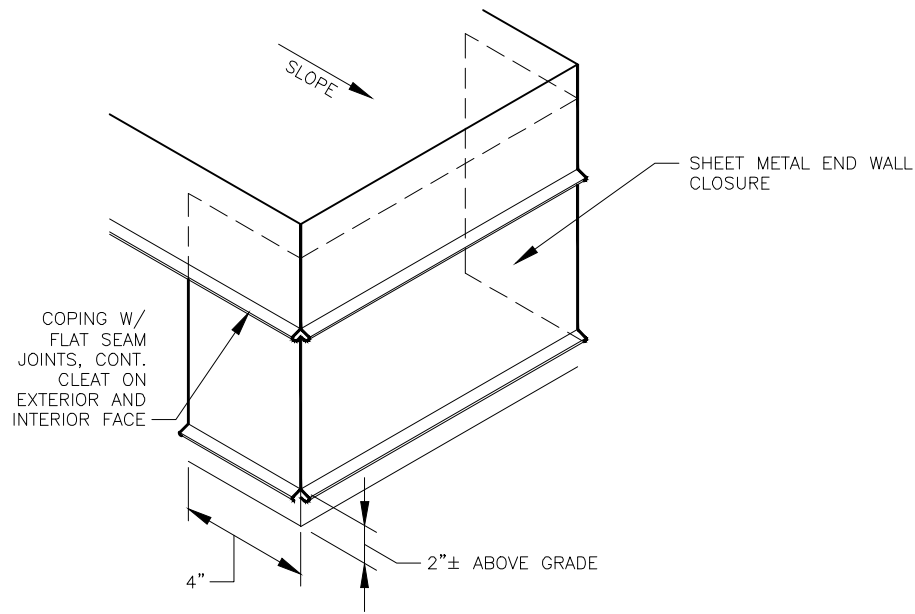
DATE: 06/15/2020
ADC PROJECT #: 19058
DESIGNED: RLC
CHECKED: AJM
DRAWN: CJJ
REVISION:

DETAILS / SECTIONS

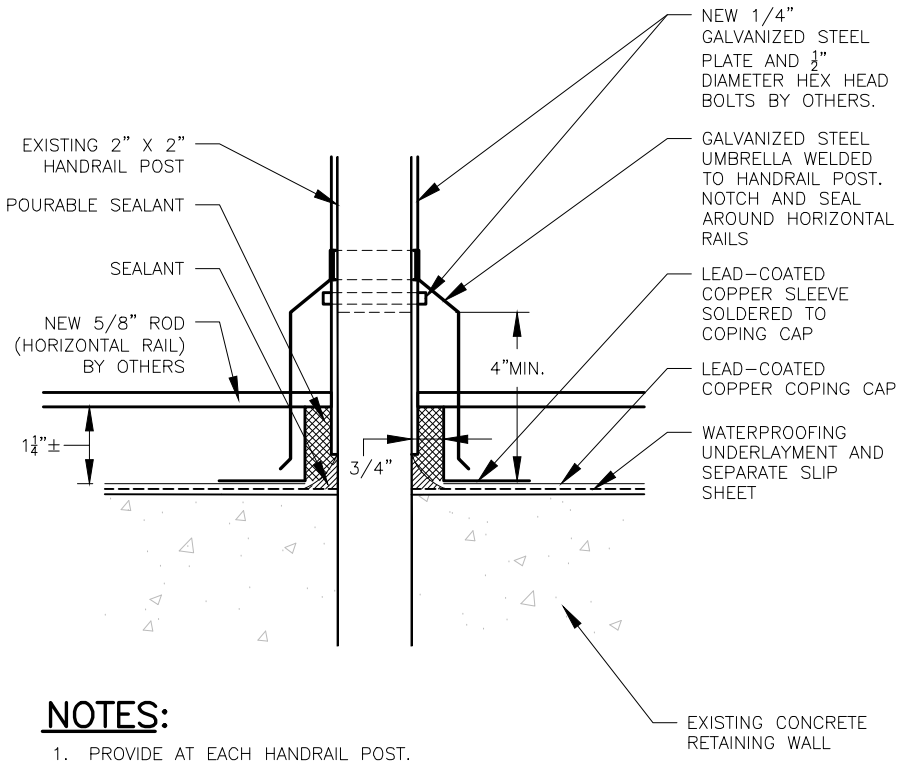
W404

SHEET 13 OF 14

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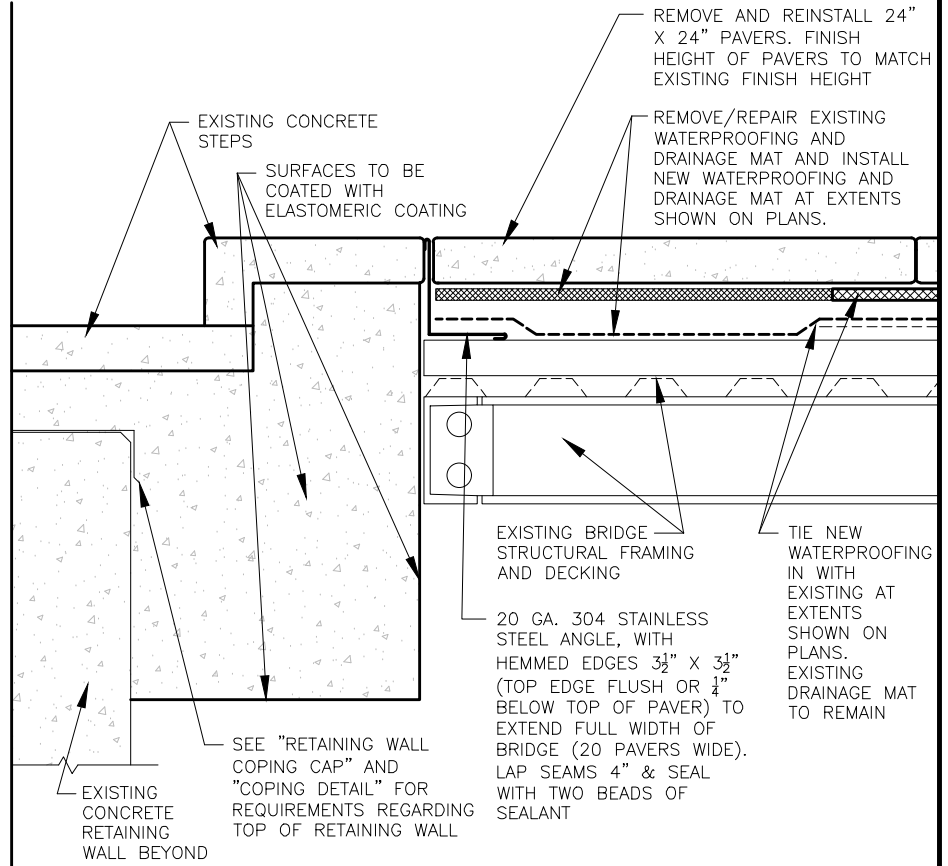
11 COPING CAP END CLOSURE
W405 NOT TO SCALE (TYPICAL)



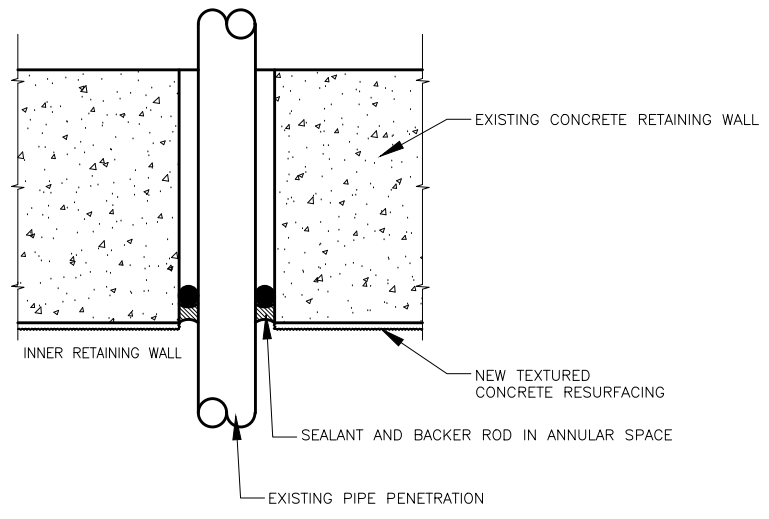
12 HANDRAIL POST SLEEVE FLASHING
W405 NOT TO SCALE (TYPICAL)

NOTES:

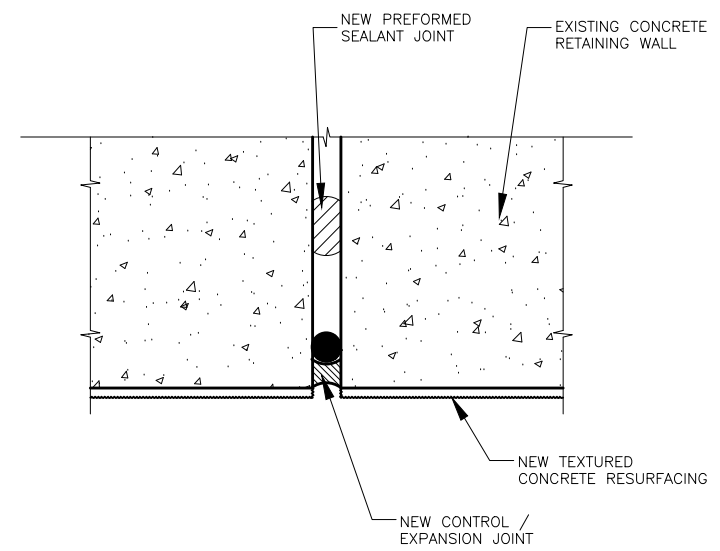
1. PROVIDE AT EACH HANDRAIL POST.
2. CONTRACTOR TO FIELD VERIFY DIMENSIONS.
3. COORDINATE WITH HANDRAIL REPAIR PROJECT (SEPARATE BY OWNER).
4. VERIFY GALVANIZED STEEL UMBRELLA IS COMPATIBLE WITH HANDRAIL POST REPAIRS BY OTHERS.
5. POST SLEEVE AND POURABLE SEALANT TO EXTEND TO UNDERSIDE TO HORIZONTAL RAIL.



13 PAVER WATERPROOFING REPAIR AT ELEVATED FRONT ENTRANCE
W405 NOT TO SCALE (TYPICAL)



14 PIPE PENETRATION THRU CONCRETE DETAIL
W405 NOT TO SCALE (TYPICAL)



15 CONCRETE RESURFACING
W405 NOT TO SCALE (TYPICAL)

NOTES:

1. REPAIR & CLEAN ALL CONCRETE SURFACES TO RECEIVE RESURFACING PRIOR TO PLACEMENT OF MATERIAL.

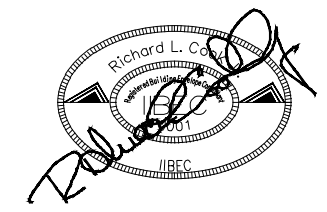
INTENTIONALLY LEFT BLANK

16 NOT USED
W405

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